



# Planning Permit Application

CITY OF BANDON PLANNING  
 P.O. BOX 67  
 555 HWY 101  
 BANDON, OR 97411  
 P:(541) 347-7922  
 F:(541) 347-1415

Permit Number: 24-007

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input checked="" type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input checked="" type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other _____*
* Pre-application required		Total Fees: \$

<b>I. PROJECT LOCATION</b>		
Street Address: <del>353</del> 335 Oregon Ave SE, Bandon, OR 97411		
Map Number / Tax Lot(s): 530cb, T28s, R14wwm / TL4100	Zone: cd-1	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

<b>II. APPLICANT'S INFORMATION</b> (applicant is the primary party responsible for development)		
Applicant's Name: Joseph Slack, Architect HGE Architects, Inc.	Phone: 541-269-1166 x234	E-Mail: joeslack@hge1.com
Applicant's Mailing Address: 333 S 4th Street, Coos Bay, OR 97420		

<b>III. PROPERTY OWNER'S INFORMATION</b>		
Property Owner's Name: Holy Trinity Catholic Church Bandon, OR	Phone: 541-347-0697	E-mail: aahamefule@archdpdx.org
Mailing Address: <del>353</del> 335 Oregon Ave SE, Bandon, OR 97411		

<b>IV. OTHER INFORMATION</b> (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)		
Title: Architect, See Above	Name:	
Email:	Phone:	
Title:	Name:	
Email:	Phone:	
Title:	Name:	
Email:	Phone:	

<b>V. PROJECT DESCRIPTION</b>		
Use: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Other _____		
*Please attach a short narrative that describes your proposed project and indicates the proposed use. Church Building, approximately 5,357 sq. ft. single story, wood frame. This building will replace the existing 3,200 sq. ft. church building.		

**VI. SITE PLAN:** Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

**VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION**

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(ies) to act as applicant in regard to the attached application for the subject property described above.

Applicant's Signature: [Signature] Date: 1/2/24

Property owner's signature required if applicant is not the property owner

Property Owner's Signature: F. Anthony Shamefulbe Date: 1/4/24

**Development Disclosure**

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.

F. Anthony Shamefulbe 1/4/24

Property Owner's Signature (Property owner's signature required if applicant is not the property owner) Date

[Signature] 12/21/2023

Applicant's Signature Date

Staff's Signature of Intake: [Signature] Date: 2/6/24

Staff's Signature of Completeness: \_\_\_\_\_ Date: \_\_\_\_\_

Staff's Signature of Approval: \_\_\_\_\_ Date: \_\_\_\_\_

### **Submittal Requirements:**

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

#### **Site Plan Requirements (please check that you have completed each of the following)**

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

#### **Design Feature Requirements (Please check your selections)**

*Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)*

*Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)*

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12   | <input type="checkbox"/> Bay windows                   |
| <input checked="" type="checkbox"/> Covered porch - (minimum of 25 square feet)  | <input checked="" type="checkbox"/> Cupolas            |
| <input type="checkbox"/> Tile or Architectural grade shingles (not composition shingle)  | <input type="checkbox"/> Hip roof                      |
| <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input checked="" type="checkbox"/> Pillars or posts   |
| <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches  | <input checked="" type="checkbox"/> Mullioned windows  |
| <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior                            | <input type="checkbox"/> Window shutters               |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet)   | <input checked="" type="checkbox"/> Clerestory windows |
| <input type="checkbox"/> Garage (constructed with exterior finish materials matching the residence)                                  | <input type="checkbox"/> Dormers                       |
| <input checked="" type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone                           | <input type="checkbox"/> Gables                        |

#### **Additional Required Plans**

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan – (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

**YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.**



# CONDITIONAL USE FORM

Supplemental to Land Use Application

**OFFICIAL USE ONLY**  
 DATE RECEIVED: 2/5/24  
 PLANNING FILE #: 24-007  
 APPLICATION COMPLETE: \_\_\_\_\_

**I. Findings of Fact:** Conditional Use Permits may be approved if the Planning Commission finds that the applicant has shown that approval standards A through H of the Bandon Municipal Code (BMC), listed below, have been met. The burden of proof is on the applicant to show how the request meets the approval standards and code provisions. A written response to all applicable approval standards and provisions must be part of your application. If a standard or provision is not applicable to your request, explain why. Attach as many sheets of paper as necessary; be sure to address each standard and provision.

Approval standards for conditional uses (BMC 16.12.040)

The approval of all conditional uses shall be consistent with:

- A. The Comprehensive Plan;
- B. The purpose and dimensional standards of the zone except as those dimensional standards have been modified in authorizing the conditional use permit.
- C. That the site size and dimensions provide adequate area for the needs of the proposed use;
- D. That the site size and dimensions provide adequate area for aesthetic design treatment to mitigate possible adverse effect from the use of surrounding properties and uses;
- E. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features;
- F. All required public facilities and services have adequate capacity to serve the proposal, and are available or can be made available by the applicant;
- G. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the permitted uses listed in the underlying zoning district;
- H. All other requirements of this title that apply.

<b>II. Project Description:</b>	
Physical Address: 335 Oregon Ave SE, Bandon, OR 97411	
(Please check all that apply) <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations <input type="checkbox"/> Other:	Additions to Building: <input type="checkbox"/> Rear <input type="checkbox"/> Front <input type="checkbox"/> Height <input type="checkbox"/> Side Yard
Present Use: Church, Existing building to be removed and replaced	
Proposed Use: Church	

**In addition to this completed form, the applicant must provide the following:**

- A completed Land Use Application: Conditional Use Permit.
- Written Findings of Fact addressing all approval standards and provisions.
- Other information deemed necessary by the Planning Director to allow review of the applicant's proposal.
- Payment of applicable review fees, which can be found on the City's web page.

I hereby certify that the statements contained herein are in all respects true and correct to the best of my knowledge and belief.

X <i>For Anthony Shanefube</i>	01/31/2024
Property Owner/Applicant Signature	Date
X <i>[Signature]</i>	02/01/2024
Applicant's Representative Signature	Date



333 S. 4TH STREET  
COOS BAY, OREGON 97420  
P: 541.269.1166  
www.hge1.com

February 1, 2024

CONDITIONAL USE APPLICATION  
FINDINGS OF FACT  
Holy Trinity Catholic Church, Bandon, Oregon  
Project #23.75

This narrative is a part of the Conditional Use Application and approval standards as required by the Bandon Municipal Code. Our responses to demonstrate consistency with the standards are as follows.

1. The Comprehensive Plan. The following goals were extracted from the Comprehensive Plan, and we offer responses to each goal, noting support of each as applicable to the proposed improvements:

**Goal 1 – Citizen Involvement**

The Bandon Planning Commission provides the means to effective two-way communication between the proposed project applicant/owner and the citizens. The city will initiate this conditional use application and offer a period of public comment. A planning commission meeting is anticipated for the applicant to explain the project more thoroughly as well as allowing additional comment from the citizens. The applicant/owner fully expects and respects this process.

**Goal 2 – Land Use**

This is an existing use, which has been active for over 100 years and will simply upgrade the existing facility as it (the building) is worn and outdated. The church elected to replace as opposed to renovate, with the goal of improving the building's functionality; improved site lines within the sanctuary, support facilities like restrooms, entry/narthex space – all within the church's interior. The building includes a small chapel area to accommodate daily worship services.

**Goal 3 – Open Space, Scenic, Historic Areas and Natural Resources**

Dimensional standards, open space – the proposed project is in the same area as the existing church building scheduled for removal. The footprint is bigger, but will not impact existing open space, as required setbacks will be maintained, per item 2 below.

**Goal 4 – Historical and Archeological Preservation**

To protect and preserve the historical heritage of the City of Bandon. While we are removing an old historical building, the historic nature and use of the building remains, including the exact same location. The existing building, as noted is

historical, is not worthy of historical renovation and addition as determined by the church leaders. The building was added on to many decades ago with a low slope addition, with an awkward orientation of the pews. The restrooms are in the front of the sanctuary causing awkward use (sightline and noise issues). The entry is marginally ADA compliant, with the remaining building non-ADA compliant. All these issues will be resolved with the new facility, plus an expanded foyer/narthex. The building design will preserve the steep roof, the belltower, the gothic windows, and the exposed heavy timber trusses in the interior, to preserve the emotional historical feel of the existing building. Again, the building's actual use has much historical value, and the church wishes to preserve such.

**Goal 5 – Natural Resources, Wetlands**

To protect and preserve. This project has minimal impact. A swale will be created on the west side for rain drain collection and detention. The swale will drain into the existing swale alongside Oregon Ave SE if overburdened with a large storm event. This has been reviewed by the public works department.

**Goal 6 – Environmental Quality of Life**

Not applicable

**Goal 7 – Areas Subject to Natural Disasters and Hazards**

Not applicable

**Goal 8 – Recreation**

Not applicable

**Goal 9 – Economic Development**

The city supports growth management. This project provides a new and expanded worship center/church and will be a new attractive facility for the City of Bandon. It is the goal of Holy Trinity Catholic Church to inspire new potential members to increase/add to their congregation/parishioners to improve the spiritual lives of their citizens and community. This will indeed be a healthy improvement.

**Goal 10 – Housing**

Not applicable

**Goal 11 – Public Facilities**

Not applicable

**Goal 12 – Transportation**

Not applicable

**Goal 13 – Urbanization**

Not applicable

**Goal 14 – Annexation Policies**

Not applicable

**Goal 15 – Estuarine Resources**

Not applicable

**Goal 16 – Coastal Shorelands**

Not applicable

Goal 17 – Beaches and Dunes

Not applicable

Goal 18 – Ocean Resources

Not applicable

2. The purpose and dimensional standards of the zone except as those dimensional standards have been modified in authorizing the conditional use permit.

Yes, all requirements of the CD-1 will be followed. This includes setbacks, and height restrictions, lot size, lot coverage (allowed 75%, actual = 15%), and parking (38 required vs. 58 actual). Per Chapter 16.12 of the BMC, 16.12.090, E. Church, there are several standards specific to church;

- a. Sufficient area provided for the building. Refer to item 3 below.
- b. Required yards and off-street parking. See note above regarding yards and parking.
- c. Location of the site relative to the service area of the church. The building is centrally located within the City of Bandon and serves the entire community and outlying areas – it is well situated and has served the area for decades.
- d. Probable growth and growth needs. The size of the proposed building is larger than the existing building for several reasons; the Nave area pew seating serves approximately 20% more patrons than existing. The Chapel will replace a very small chapel space in the existing parish hall. The sanctuary/alter area is much larger than the existing, to serve the priest, and the Narthex (lobby) area is larger than the existing to provide more ample/comfortable room for fellowship space.
- e. Site location relative to land uses in the vicinity and adequacy of access from principal streets, together with effect on traffic volumes of abutting and nearby streets. As mentioned above and in the following responses, the building is in the same spot as the existing building has been located for decades/centuries. The traffic volume is unchanged but could increase slightly with the attractiveness of a new church building for Holy Trinity Catholic Church. As mentioned above, the pew seating will increase by about 20%. The site has two driveway accesses off Oregon Ave SE which will remain. Site lighting, low cutoff style, will remain/relocate for site safety.

The building height is 32' with the bell tower approximately 40'. Allowed is 50' per chapter 16.12.

3. That the site size and dimensions provide adequate area for the needs of the proposed use.

The building site is in the same area as the existing church building designated to be removed. The footprint of the new building is about 4900 sf, the existing building is about 2600 sf, so it will be a larger footprint by about 1300 sf. However, the existing building pad area for the building does accommodate the larger size. We have a 20-foot setback requirement from Oregon Ave SE and actual is about 22 feet. The existing paved area at the

church, east side of the building remains. We will be replacing the sidewalk along the east side of the building to provide ADA compliant access to the main entry as well as the side entry/exit. The driveway lanes on the south and north remain undisturbed. Yes, the site is adequate for the needs of the proposed replacement building, the use remains the same - church.

4. The site size and dimensions provide adequate area for aesthetic design treatment to mitigate possible adverse effects from the use of surrounding properties and uses.

See response to question/standard 3 above. Also, the proposed building will comply with setback requirements, to avoid adverse effects to surrounding properties. We also are complying with the CD-R1 regarding residential features to minimize any adverse effects on adjacent properties, by providing interest to the architecture of the building. This includes incorporating; roof pitch greater than 3:12 (9:12 actual), hip roof at entry roof area, gables, eaves/overhang greater than 12 inches, architectural grade shingles, building offsets, dormer (shed roof clerestory), steeple/bell tower, covered porch, lap siding and stone veneer.

5. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and natural features.

Yes, the entire building pad area is fortunately level. The existing building will be removed in its entirety, and the building pad will be excavated to remove all topsoil, and then backfilled with granular material, to prepare for the foundation and slab-on-grade structure. As mentioned above, the existing topography, drives and parking areas will remain.

6. All required public facilities and services have adequate capacity to serve the proposal and are available or can be made available by the applicant.

The project has been reviewed by the public works department. The existing water service serving the existing building will remain. We are not increasing the water service as the new building has similar plumbing fixture quantities, not impacting the service size. The city recommends keeping the existing water service. The building will be served by the existing sewer lateral from Oregon Ave SE. Power will come from Oregon Ave SE also, and an underground service is anticipated. Capacity appears not to be an issue.



7. The proposed use will not alter the character of the surrounding area in a matter which substantially limits, impairs, or precludes the use of surrounding properties for the permitted uses listed in the underlying zoning district.

This building and use, church, replaces an existing building and use, church. The existing building has been on site 140 years, and this project simply replaces a building that has worn out its useful life. The church leaders made the decision that building replacement is more feasible than major renovation/expansion.

8. All other requirements of this title that apply.

It appears that all other requirements are met, as listed above.

We believe that all requirements of this title have been sufficiently addressed within this response. We look forward to your review and approval.

HGE Architects, Inc.



Joseph A. Slack, AIA,  
Principal Architect



ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
INTERIORS - PLANNING

**INSPECTION SCHEDULE:** All city inspections must be requested at least 2 business days in advance. Failure to schedule or complete required inspections may delay the final approval of your project.

**Code Compliance Inspection List:**

**Inspection # 1:** Compliance with approved site plan Inspection required prior to pouring foundation footings.

**Inspection # 2:** Compliance with approved floor plans and elevation drawings - Inspection required after the roof trusses are placed but prior to any cover being installed.

**Inspection # 3:** Compliance with approved plans for drainage, utility service, off-street parking, any required street improvements, house numbering and authorized land use approvals. - Inspection required upon completion of structure and related site work, prior to occupancy. This inspection is done **AFTER** the State Building Codes inspectors have approved a final inspection for the project.

**Public Works Inspection List:**

**Inspection # 1:** Lot Drainage; Compliance with approved drainage plan - Inspection required prior to any drainage work.

**Inspection # 2:** Culvert; Compliance with approved plan - Inspection required prior to covering.

**Inspection # 3:** Water shut off control valve; per APWA Standards - Inspection required prior to covering.

**Inspection # 4:** Sewer lateral and clean out (6" at property line per Compliance with APWA Standards); Compliance with City requirements - Inspection required prior to covering.

**Inspection # 5:** Driveway: Per APWA Standards - Inspection required prior to pouring paving material.

Oregon Law allows the City up to 30 days to review an application to determine whether or not the application is "complete" or "incomplete." Planning staff strives to be responsive and minimize this review period. However, careful and thorough reviews lay a foundation for smoother and quicker subsequent review processes. A pre-application may be required prior to the submittal of an application. Please visit the City's website for submittal requirements <https://www.cityofbandon.org/planning>. Incomplete applications will not be scheduled for public hearing or plan review, until all of the required materials are submitted.

**Other agency contacts:**

City of Bandon	<a href="http://www.cityofbandon.org/">http://www.cityofbandon.org/</a>	(541) 347-2437
State Building Codes (coos bay)	<a href="http://www.oregon.gov/bcd/permit-services/Pages/coos-county.aspx">http://www.oregon.gov/bcd/permit-services/Pages/coos-county.aspx</a>	(541) 266-1098
State Fire Marshall	<a href="http://www.oregon.gov/osp/sfm/Pages/index.aspx">http://www.oregon.gov/osp/sfm/Pages/index.aspx</a>	(541) 618-7951
State Department of Environmental Quality (DEQ)	<a href="http://www.oregon.gov/DEQ/Pages/index.aspx">http://www.oregon.gov/DEQ/Pages/index.aspx</a>	(541) 269-2721
U.S. Fish and Wildlife	<a href="https://www.fws.gov/">https://www.fws.gov/</a>	(541) 888-1470
Oregon Fish and Wildlife	<a href="http://www.dfw.state.or.us/">http://www.dfw.state.or.us/</a>	(541) 888-5515
Coquille Indian Tribe	<a href="http://www.coquilletribe.org/">http://www.coquilletribe.org/</a>	(541) 756-0904
Coos County Planning Department	<a href="http://www.co.coos.or.us/Departments/Planning.aspx">http://www.co.coos.or.us/Departments/Planning.aspx</a>	(541) 396-7770
Coos County Assessor's Office	<a href="http://www.co.coos.or.us/Departments/Assessors.aspx">http://www.co.coos.or.us/Departments/Assessors.aspx</a>	(541) 396-7900
FEMA (floodplain issues)	<a href="https://www.fema.gov/">https://www.fema.gov/</a>	
Department of State Lands (DSL)	<a href="http://www.oregon.gov/dsl/pages/index.aspx">http://www.oregon.gov/dsl/pages/index.aspx</a>	

# TOPOGRAPHIC SURVEY OF TAX LOT 4100 SECTION 30CB, T28S, R14W, W.M. COOS COUNTY, OR

355 OREGON AVENUE SE, BANDON, OR 97411

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO.: 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
355 OREGON AVENUE SE  
BANDON, OREGON

**DESIGN DEVELOPMENT**

REVISIONS:  
# DATE DESCRIPTION

DATE: DECEMBER 2023

SHEET TITLE:

**EXISTING  
CONDITIONS MAP**

**SHEET 1**

**Stuntzner**  
Engineering & Forestry, LLC

705 SO. 4TH STREET  
COOS BAY, OREGON 97420  
Engineering - Land Surveying - Forestry - Land Planning - Water Rights

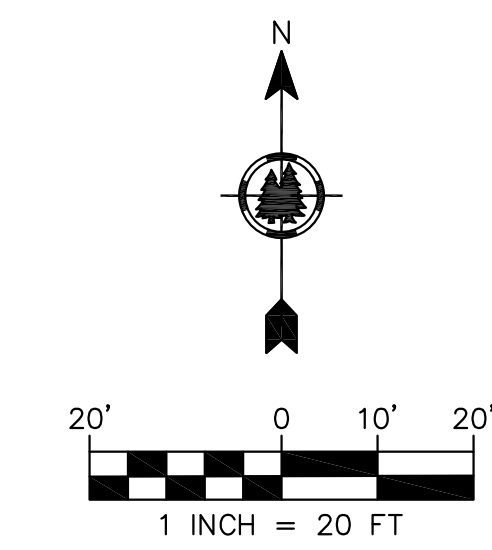
PHONE: (541) 267-2872  
FAX: (541) 267-3588  
www.stuntzner.com

JOB #: 122-3-183    PREPARED FOR: **HOLY TRINITY CATHOLIC CHURCH**  
DATE: 3/31/2023    FOR: **355 OREGON AVENUE SE**  
DRAWN BY: SIE    BANDON, OR 97411  
CHECKED BY: ARM    FILE NAME: EXISTING CONDITIONS MAP.dwg    SHEET 1 OF 1

RENEWS 12/31/24

### LEGEND

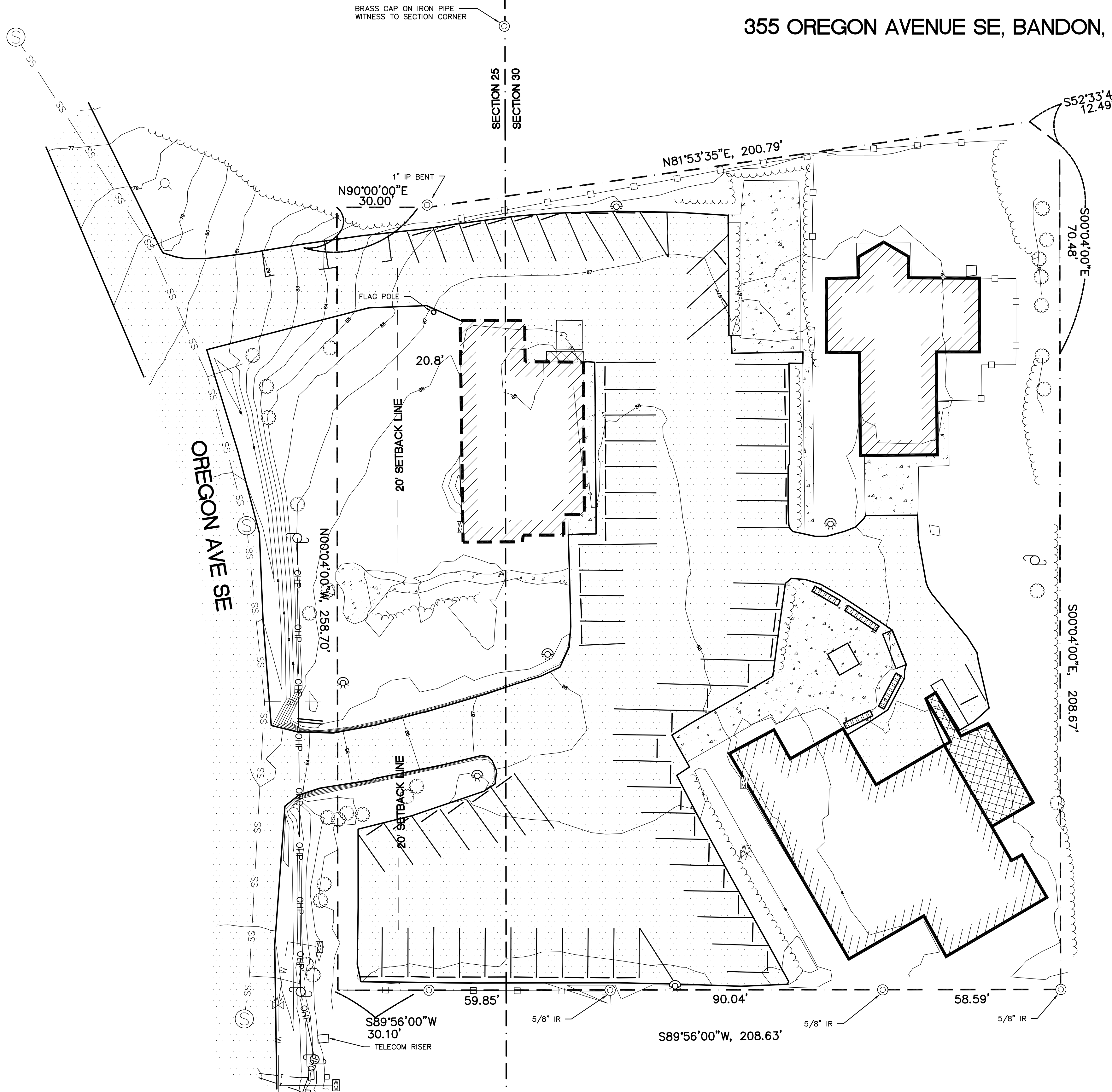
SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	PROPERTY LINES
—151—	1' CONTOUR
—150—	5' CONTOUR
.....	RETAINING WALL
- - - - -	BURIED UTILITY/TELECOM LINES
—OHP— OHP—	OVERHEAD UTILITY LINES
~~~~~	VEGETATION/LANDSCAPING
	PARKING STRIPING
▨	BUILDING
▩	ASPHALT
▧	SIDEWALK/PAVERS
▩	DECK
▩	BENCH
▩	SIGN
—	WHEEL STOP
⊙	MONUMENT AS NOTED
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	EXISTING TREE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	WATER METER



1  
A1.1 EXISTING CONDITIONS MAP  
SCALE: 1" = 20'

TAX LOT 4100 AREA (FT <sup>2</sup> )	BUILDING AREA (FT <sup>2</sup> )	AREA OF PAVERS (FT <sup>2</sup> )	AREA OF DECK (FT <sup>2</sup> )	AREA OF ASPHALT (FT <sup>2</sup> )	PERVIOUS AREA (VEGETATION, GRASS, ETC.) (FT <sup>2</sup> )
64,783.20	9,274.83	4,512.41	554.08	25,684.44	24,757.44

FILE No. H:\Architecture\Jobs\23.75 Bandon Holy Trinity Catholic Church\1 Drawings\7\_CAD & REVIT\Design Development\CAD\EXISTING CONDITIONS MAP.dwg 12/22/23 11:45 — Stephanie



PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO.: 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
355 OREGON AVENUE SE  
BANDON, OREGON

DESIGN DEVELOPMENT

REVISIONS:

#	DATE	DESCRIPTION

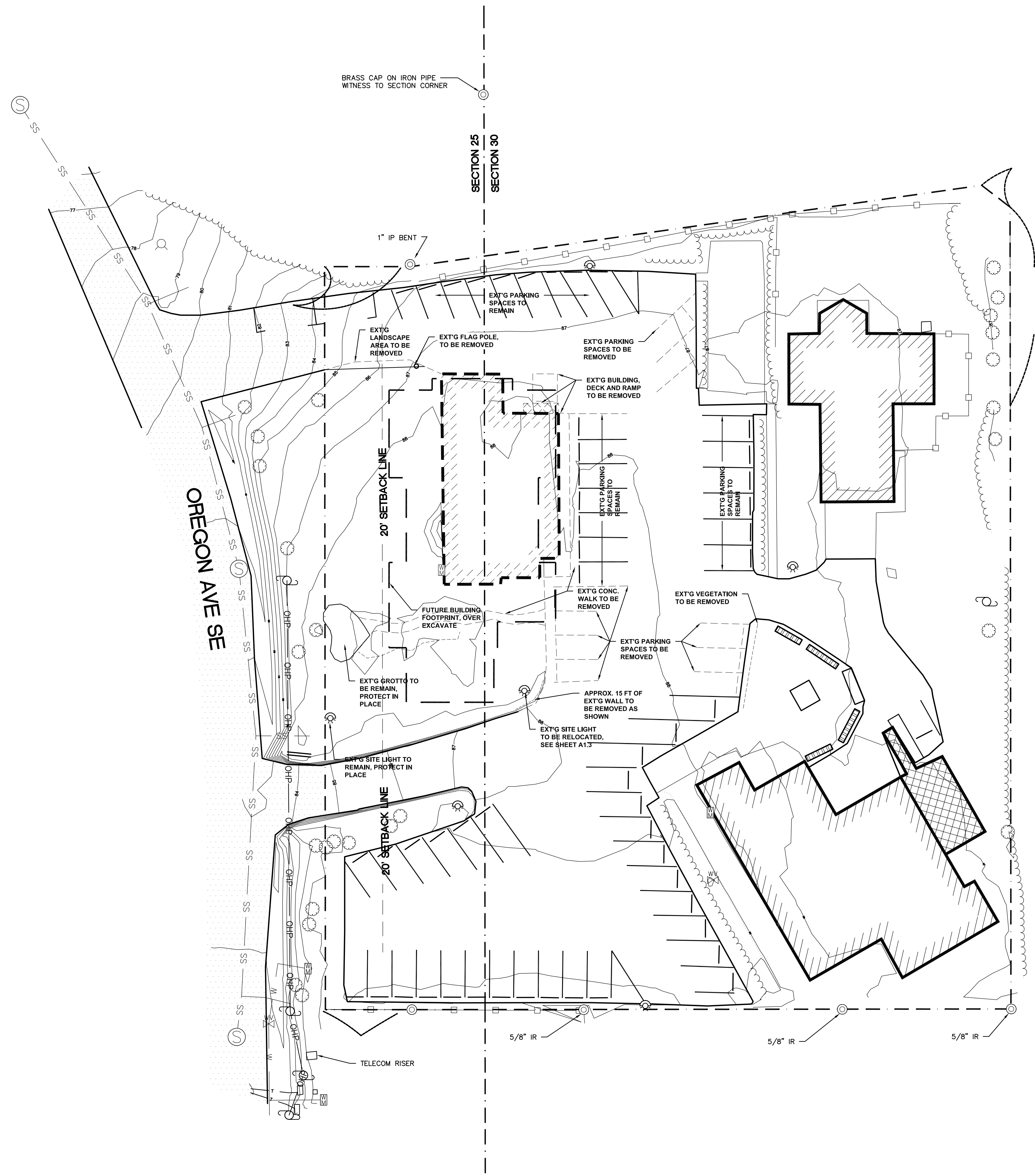
DATE: DECEMBER 2023

SHEET TITLE:

**SITE DEMO PLAN**

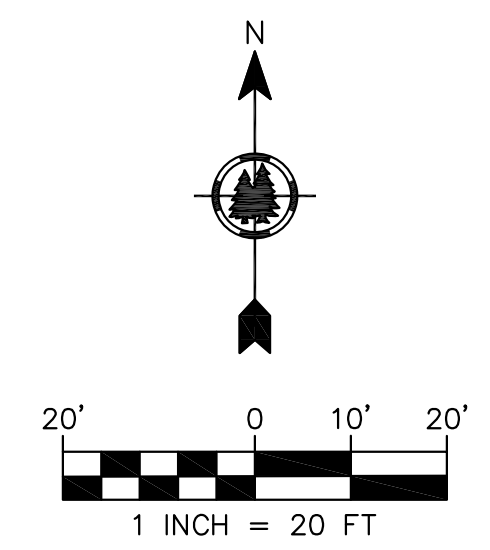
**SHEET 2**

FILE No. H:\Architecture\Jobs\23.75 Bandon Holy Trinity Catholic Church\1 Drawings\7\_CAD & REVIT\Design Development\CAD\SITE DEMO PLAN.dwg 01/03/24 17:09 - Stephanie



**LEGEND**

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	PROPERTY LINES
—151—	1' CONTOUR
—150—	5' CONTOUR
.....	RETAINING WALL
- · - · -	BURIED UTILITY/TELECOM LINES
— OHP — OHP —	OVERHEAD UTILITY LINES
~~~~~	VEGETATION/LANDSCAPING
	PARKING STRIPING
▨	BUILDING
▩	ASPHALT
▧	SIDEWALK/PAVERS
▦	DECK
▤	BENCH
▥	SIGN
—	WHEEL STOP
⊙	MONUMENT AS NOTED
⊙	LIGHT POLE
⊙	UTILITY POLE
⊙	EXISTING TREE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	WATER METER



**1 SITE DEMO PLAN**  
SHT.2 SCALE: 1" = 20'

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO.: 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
355 OREGON AVENUE SE  
BANDON, OREGON

DESIGN DEVELOPMENT

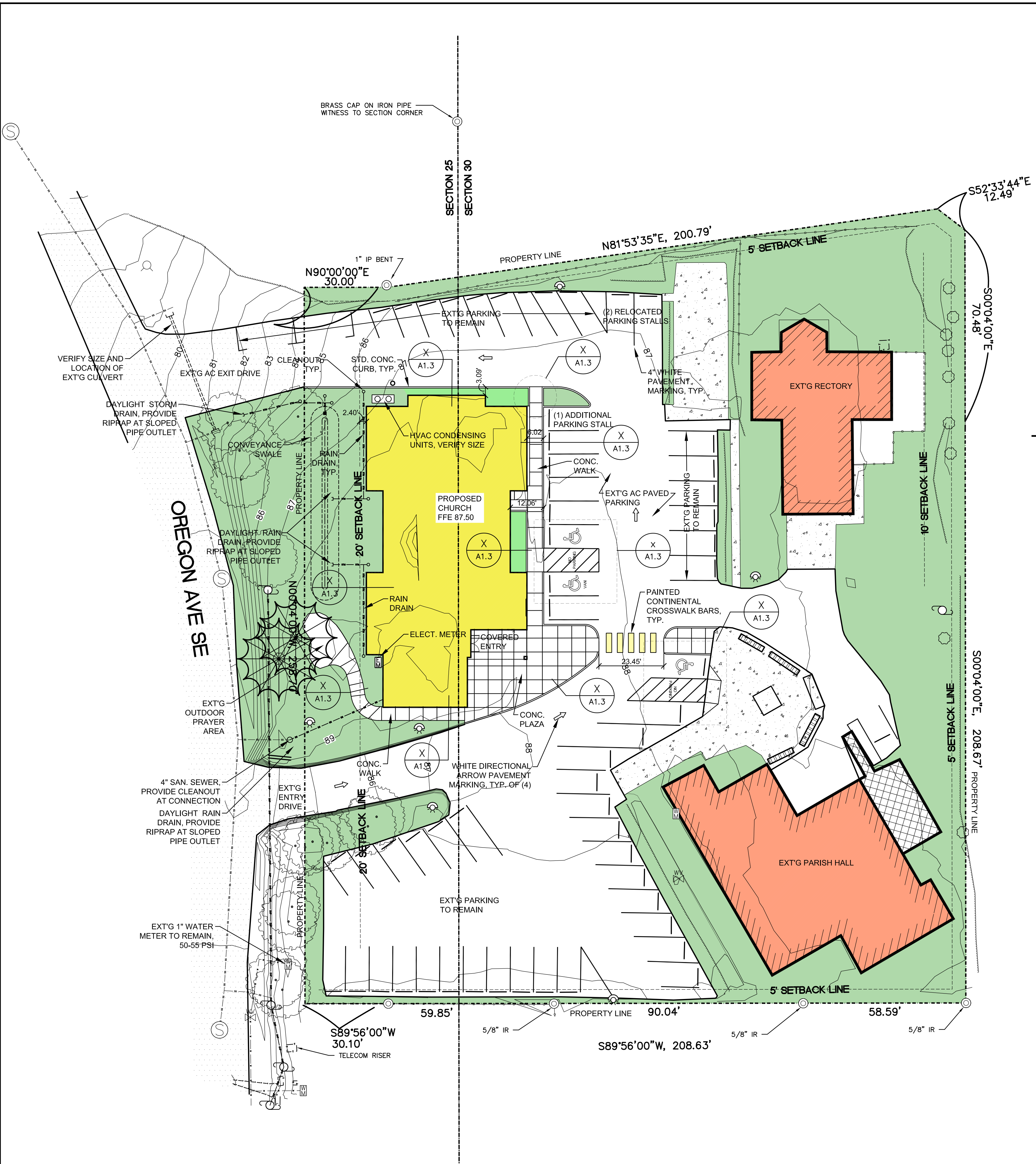
REVISIONS:	#	DATE	DESCRIPTION

DATE: DECEMBER 2023

SHEET TITLE:  
SITE PLAN

**SHEET 3**

FILE No. H:\Architecture\Jobs\23.75 Bandon Holy Trinity Catholic Church\1 Drawings\7\_CAD & REVIT\Design Development\CAD\SITE PLAN.dwg 01/03/24 17:10 - Stephanie



**SITE DATA**

ZONE: CD-1  
TOTAL LOT SIZE: 64,783 SF

(E) CHURCH BUILDING TO BE REMOVED: 2,600 SF  
(E) RECTORY: 2,259 SF  
(E) PARISH HALL: 4,417 SF  
TOTAL: 9,276 SF, 15% OF LOT

TOTAL EXISTING IMPERVIOUS SURFACES:  
BUILDINGS: 9,276 SF  
CONC. / AC PAVING: 30,198 SF  
DECKS: 555 SF  
TOTAL: 40,029 SF, 62% OF LOT

PROPOSED BUILDING & (E) BUILDINGS TO REMAIN:  
CHURCH BUILDING: 5,357 SF  
(E) RECTORY: 2,259 SF  
(E) PARISH HALL: 4,417 SF  
TOTAL: 12,213 SF, 19% OF LOT

TOTAL PROPOSED IMPERVIOUS SURFACES: 43,949 SF, 68% OF LOT ALLOWABLE = 65%

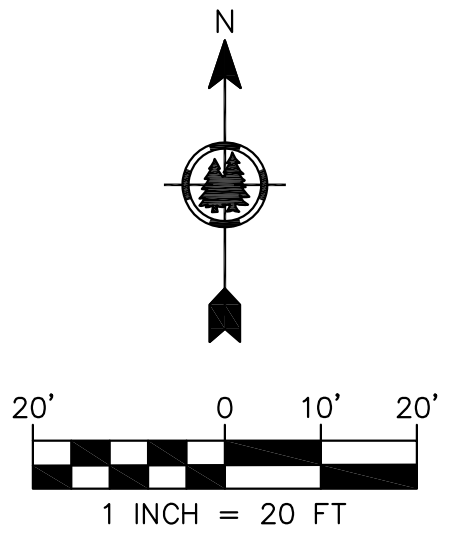
**PARKING:**  
EXISTING: 63 SPACES  
PROPOSED: 58 SPACES (NET LOSS OF 5)

REQUIRED PARKING SPACES:  
1 PER 4 SEATS  
14 SEATS TOTAL = 4 SPACES  
1 PER 8 FT OF PEW IN MAIN AUDITORIUM  
272 FT TOTAL = 34 SPACES  
TOTAL REQUIRED: 38 SPACES  
ACTUAL: 58 SPACES; OK

REQUIRED NUMBER OF ACCESSIBLE SPACES (OSSC TABLE 1106.2):  
3 SPACES, INCLUDING 1 VAN ACCESSIBLE SPACE

**LEGEND**

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	PROPERTY LINES
---	1' CONTOUR
---	5' CONTOUR
---	RETAINING WALL
---	BURRIED UTILITY/TELECOM LINES
---	OVERHEAD UTILITY LINES
---	VEGETATION/LANDSCAPING
---	PARKING STRIPING
---	BUILDING
---	ASPHALT
---	SIDEWALK/PAVERS
---	DECK
---	BENCH
---	SIGN
---	WHEEL STOP
---	MONUMENT AS NOTED
---	LIGHT POLE
---	UTILITY POLE
---	EXISTING TREE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER



**1 SITE PLAN**  
SHT.3 SCALE: 1" = 20'

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO. 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
335 OREGON AVE. SE  
BANDON, OREGON 97411

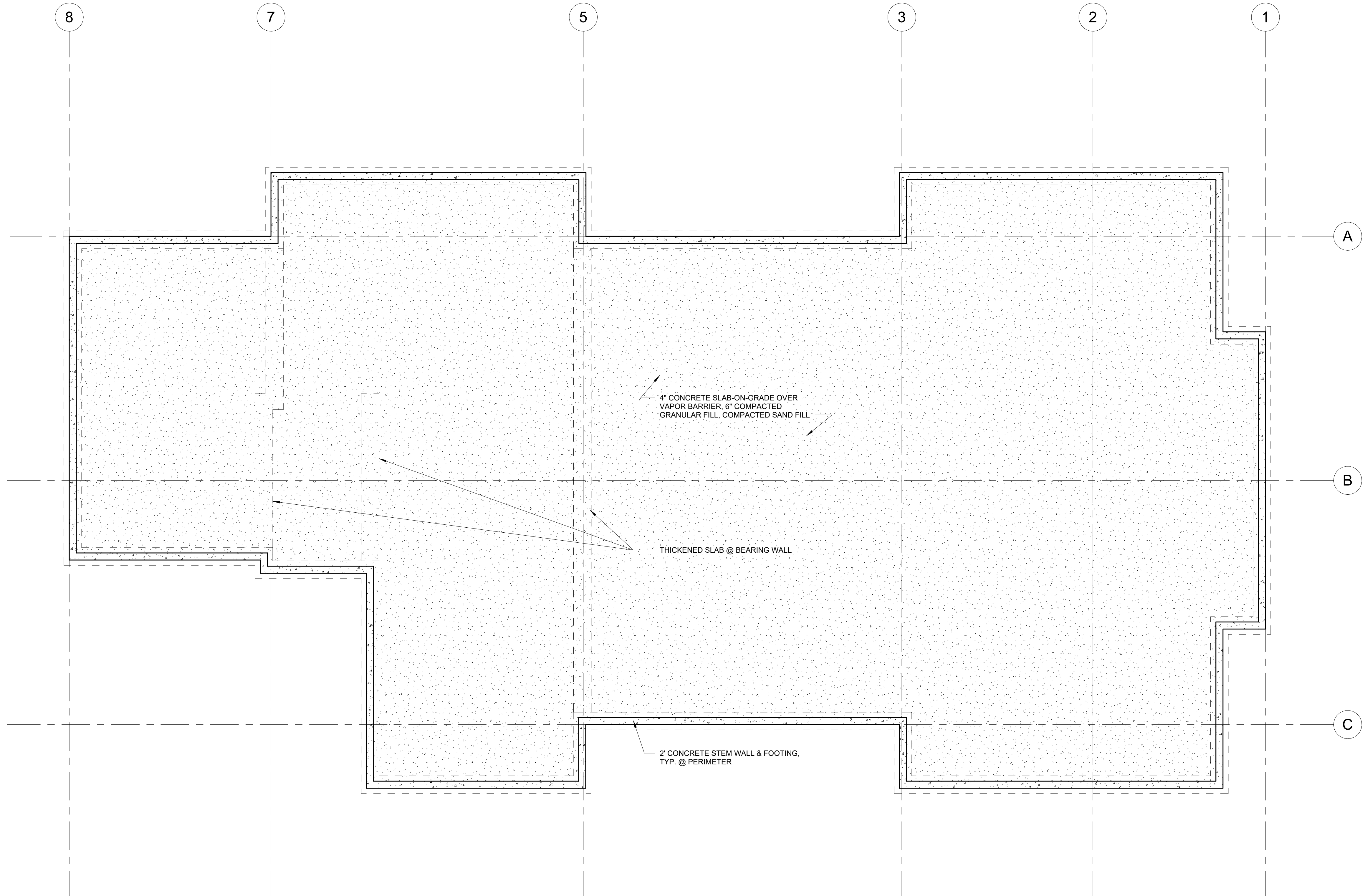
**PLANNING**

REVISIONS:		
#	DATE	DESCRIPTION

DATE: DECEMBER 2023

SHEET TITLE:  
**FOUNDATION PLAN**

**SHEET 4**



**1 FOUNDATION PLAN - PLANNING**  
3/16" = 1'-0"  
11x17 SCALE: 3/32" = 1'-0"  
0' 2' 4' 8' 16'

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO. 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
335 OREGON AVE. SE  
BANDON, OREGON 97411

**PLANNING**

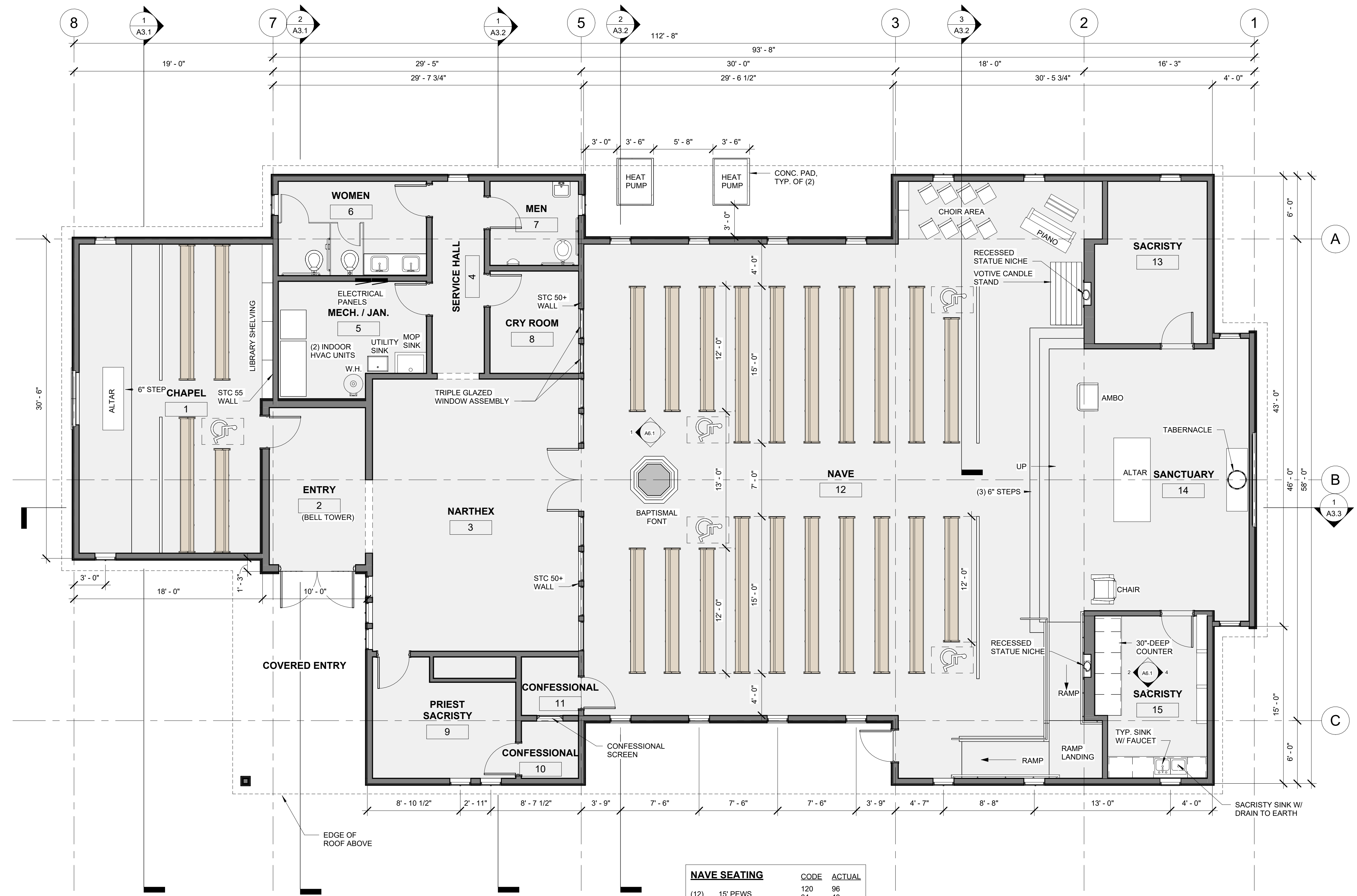
REVISIONS:

#	DATE	DESCRIPTION

DATE: DECEMBER 2023

SHEET TITLE:  
**FLOOR PLAN**

**SHEET 5**



NAVE SEATING			CODE	ACTUAL
(12)	15' PEWS	120	96	
(8)	12' PEWS	64	48	
(4)	ACCESSIBLE SEATS	4	4	
(8)	CHOIR SEATS	8	8	
TOTAL			196	156

**1 FLOOR PLAN - PLANNING**  
3/16" = 1'-0"  
11x17 SCALE: 3/32" = 1'-0"  
0' 2' 4' 8' 16'

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO. : 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
335 OREGON AVE. SE  
BANDON, OREGON 97411

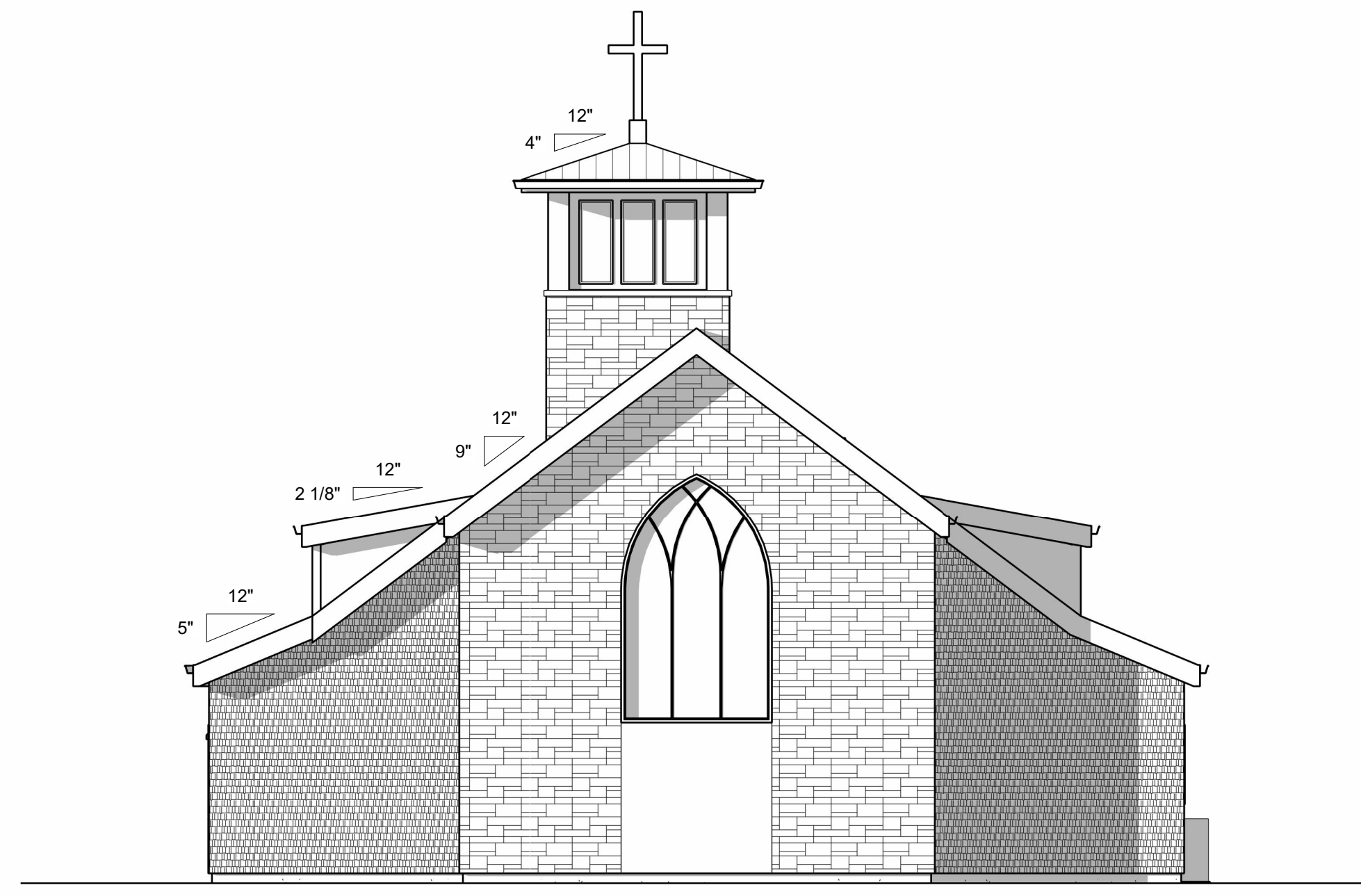
**PLANNING**

REVISIONS:		
#	DATE	DESCRIPTION

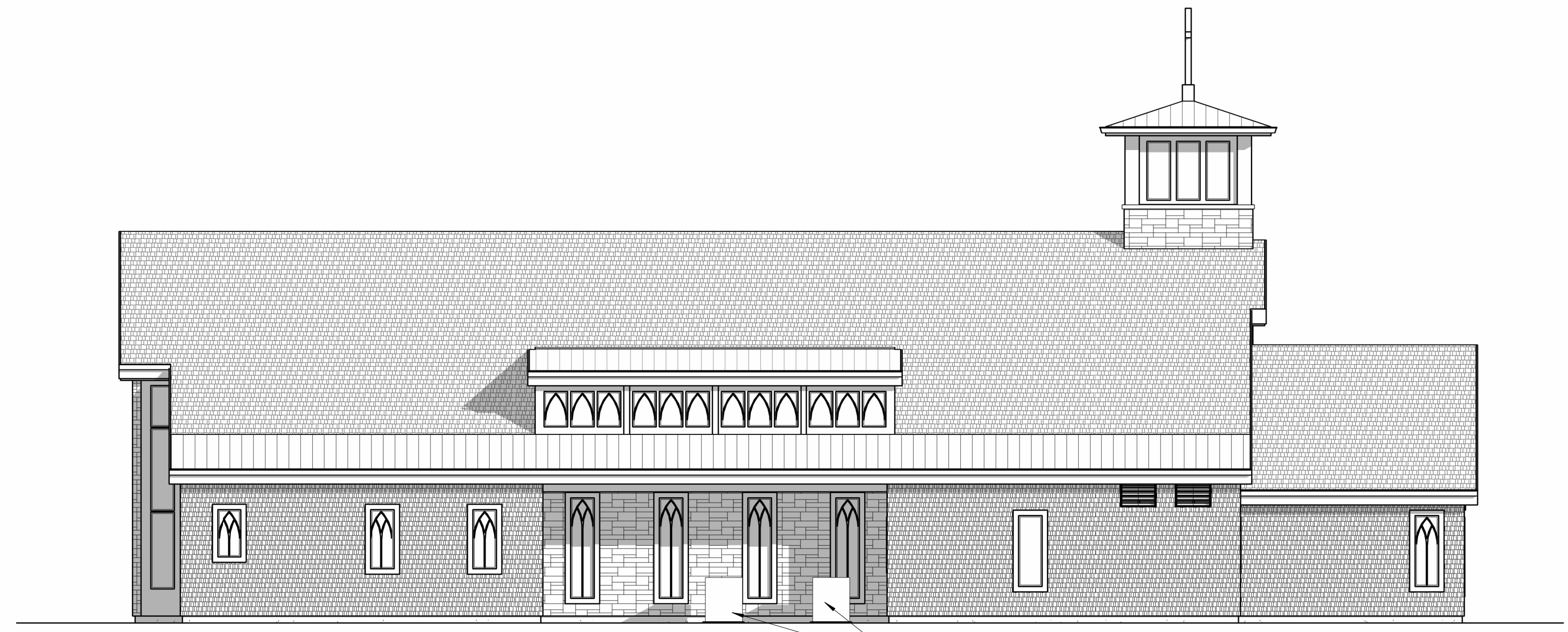
DATE: DECEMBER 2023

SHEET TITLE:  
**BUILDING ELEVATIONS**

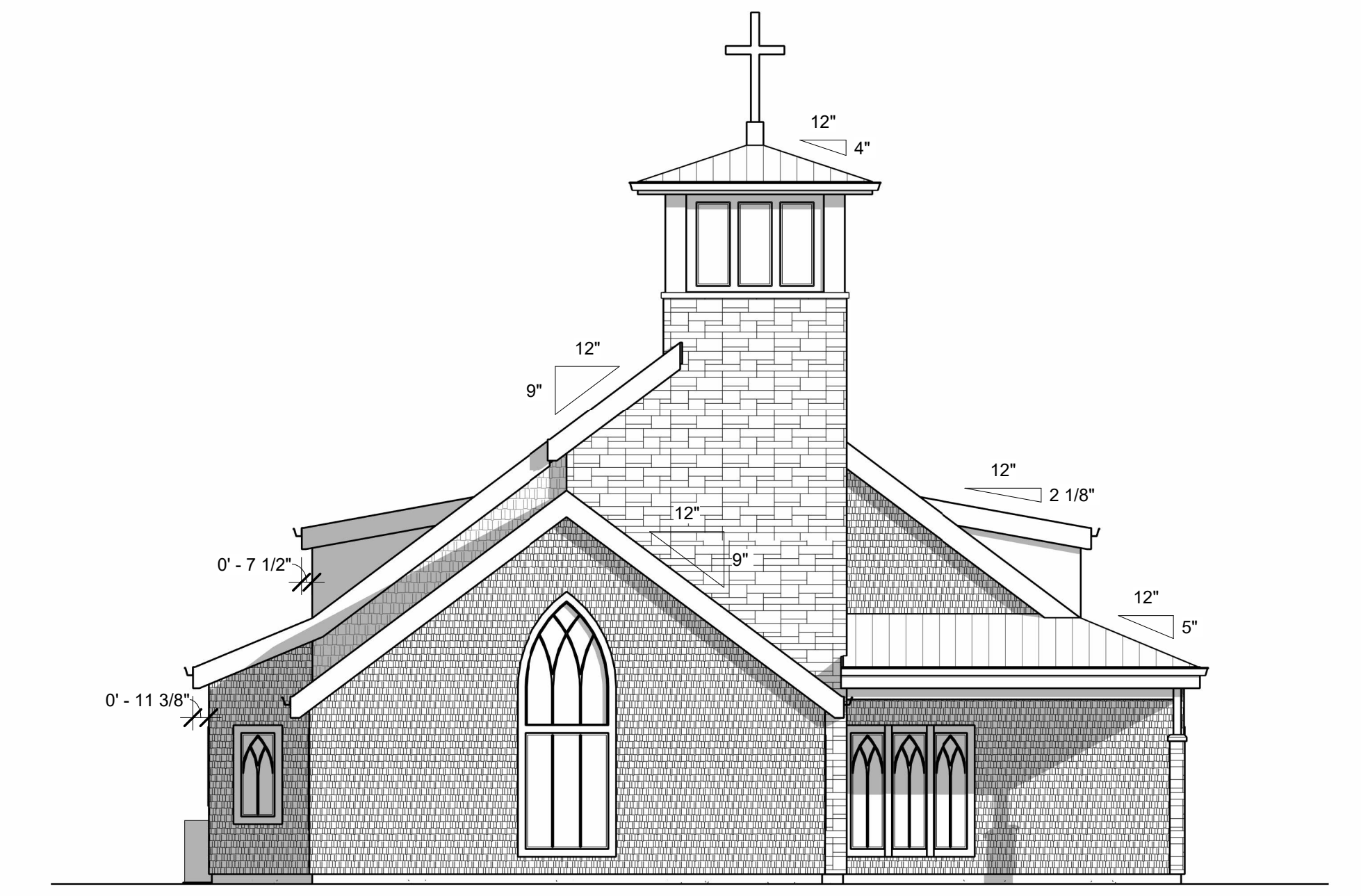
**SHEET 6**



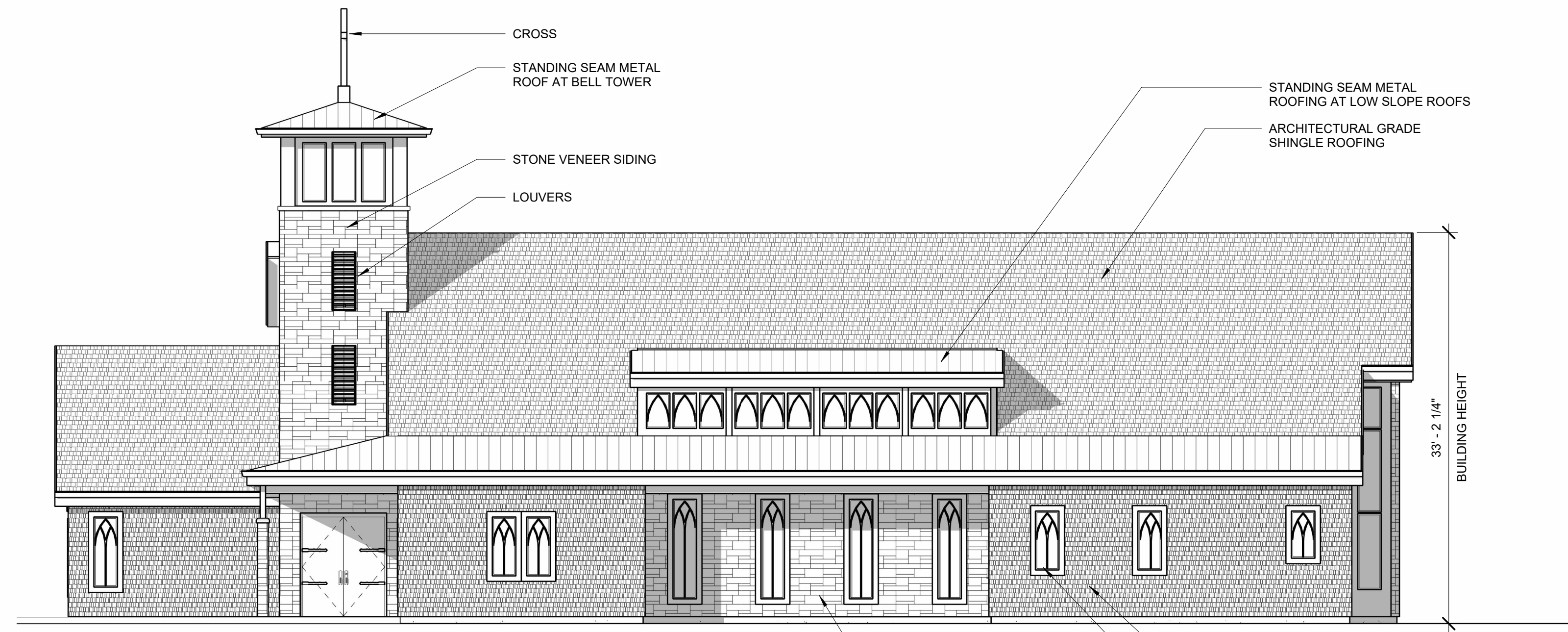
**2 NORTH ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"



**4 WEST ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"



**3 SOUTH ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"



**1 EAST ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"



Revised Plans 3/25/24

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO.: 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
355 OREGON AVENUE SE  
BANDON, OREGON

DESIGN DEVELOPMENT

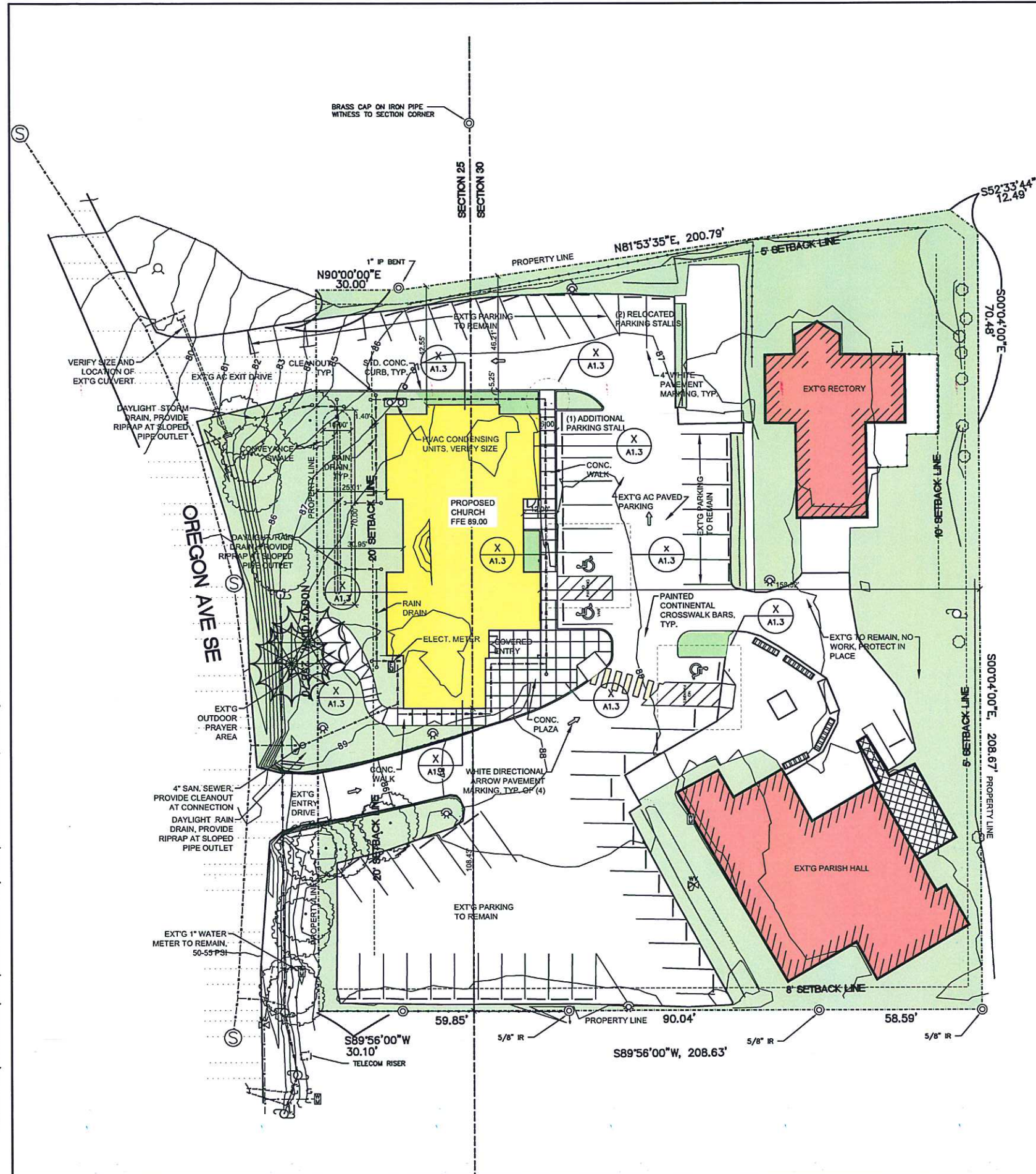
REVISIONS:  
# DATE DESCRIPTION

DATE: MARCH 2024

SHEET TITLE:  
SITE PLAN

**SHEET 3**

FILE No. H:\Architecture\Jobs\23.75 Bandon Holy Trinity Catholic Church\1 Drawings\7\_CAD & REVIT\Design Development-CAD\SITE PLAN.dwg 03/20/24 13:13 - Stephanie



**SITE DATA**

ZONE: CD-1  
TOTAL LOT SIZE: 64,783 SF

(E) CHURCH BUILDING TO BE REMOVED: 2,600 SF  
(E) RECTORY: 2,259 SF  
(E) PARISH HALL: 4,417 SF  
TOTAL: 9,276 SF, 15% OF LOT

TOTAL EXISTING IMPERVIOUS SURFACES:  
BUILDINGS: 9,276 SF  
CONC. / AC PAVING: 30,198 SF  
DECKS: 555 SF  
TOTAL: 40,029 SF, 62% OF LOT

PROPOSED BUILDING & (E) BUILDINGS TO REMAIN:  
CHURCH BUILDING: 5,357 SF  
(E) RECTORY: 2,259 SF  
(E) PARISH HALL: 4,417 SF  
TOTAL: 12,213 SF, 19% OF LOT

TOTAL PROPOSED IMPERVIOUS SURFACES: 43,949 SF, 68% OF LOT  
ALLOWABLE = 65%

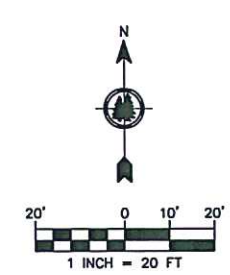
PARKING:  
EXISTING: 63 SPACES  
PROPOSED: 58 SPACES (NET LOSS OF 5)

REQUIRED PARKING SPACES:  
1 PER 4 SEATS  
14 SEATS TOTAL = 4 SPACES  
1 PER 8 FT OF PEW IN MAIN AUDITORIUM  
272 FT TOTAL = 34 SPACES  
TOTAL REQUIRED: 38 SPACES  
ACTUAL: 58 SPACES: OK

REQUIRED NUMBER OF ACCESSIBLE SPACES (OSSC TABLE 1106.2):  
3 SPACES, INCLUDING 1 VAN ACCESSIBLE SPACE

**LEGEND**

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	PROPERTY LINES
---	1' CONTOUR
---	5' CONTOUR
---	RETAINING WALL
---	BURIED UTILITY/TELECOM LINES
---	OVERHEAD UTILITY LINES
---	VEGETATION/LANDSCAPING
---	PARKING STRIPING
---	BUILDING
---	ASPHALT
---	SIDEWALK/PAVERS
---	DECK
---	BENCH
---	SIGN
---	WHEEL STOP
---	MONUMENT AS NOTED
---	LIGHT POLE
---	UTILITY POLE
---	EXISTING TREE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER



**1 SITE PLAN**  
SHT.3 SCALE: 1" = 20'

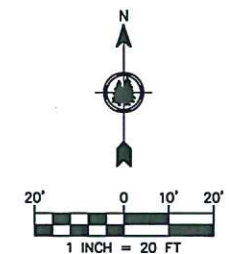
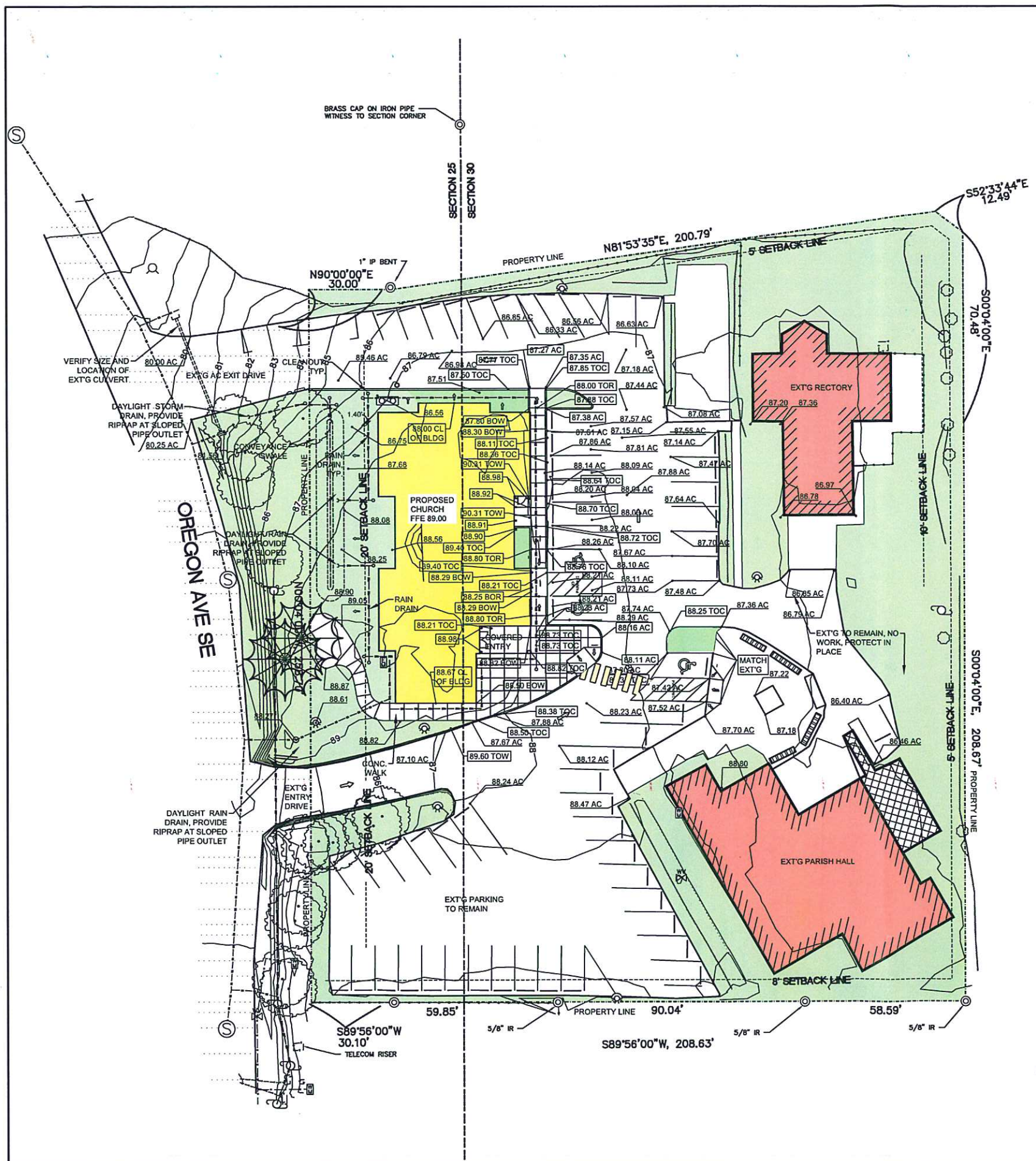
FILE No. H:\Architecture\Jobs\23.75 Bandon Holy Trinity Catholic Church\1 Drawings\7\_CAD & REVIT\Design Development-CAD\SITE PLAN.dwg 03/20/24 13:14 - Stephanie

Revised Plans 3/23/24

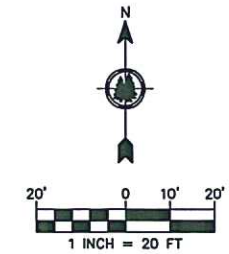


333 S. 4TH STREET  
COOS BAY, OR 97420  
P: 541.269.1166  
www.hge1.com  
general@hge1.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION



SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	PROPERTY LINES
---	1' CONTOUR
---	5' CONTOUR
---	RETAINING WALL
---	BURIED UTILITY/TELECOM LINES
---	OVERHEAD UTILITY LINES
---	VEGETATION/LANDSCAPING
---	PARKING STRIPING
---	BUILDING
---	ASPHALT
---	SIDEWALK/PAVERS
---	DECK
---	BENCH
---	SIGN
---	WHEEL STOP
---	MONUMENT AS NOTED
---	LIGHT POLE
---	UTILITY POLE
---	EXISTING TREE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER



1 GRADING / DRAINAGE PLAN  
SHT.4 SCALE: 1" = 20'

PROJECT NO.: 23.75  
HOLY TRINITY CATHOLIC CHURCH  
355 OREGON AVENUE SE  
BANDON, OREGON

DESIGN DEVELOPMENT		
REVISIONS:	#	DATE DESCRIPTION

DATE: MARCH 2024  
SHEET TITLE:  
GRADING / DRAINAGE PLAN

SHEET 4

FILE No. H:\Architecture\Jobs\23.75 Bandon Holy Trinity Catholic Church\1 Drawings\7\_CAD & REVIT\Design Development-CAD\SITE DETAILS.dwg 03/20/24 13:12 - Stephanie

Revised 3/25/24



PROJECT NO.: 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
355 OREGON AVENUE SE  
BANDON, OREGON

DESIGN DEVELOPMENT

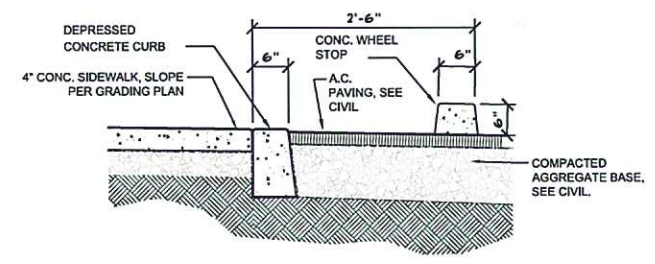
REVISIONS:

#	DATE	DESCRIPTION

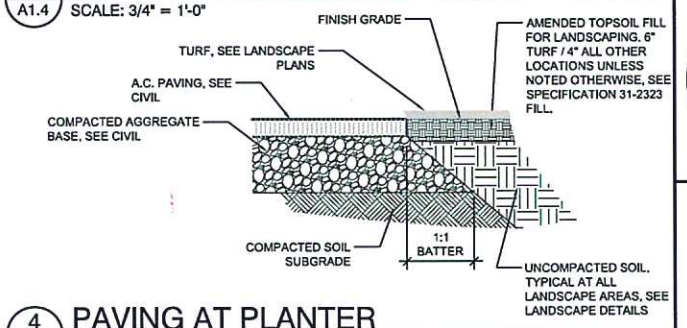
DATE: MARCH 2024

SHEET TITLE:  
**SITE DETAILS**

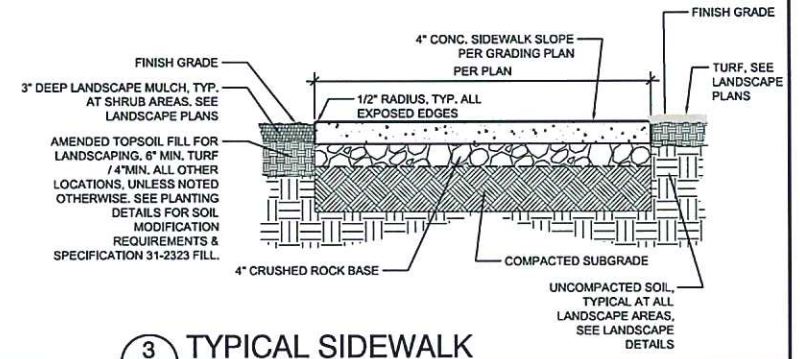
**SHEET 5**



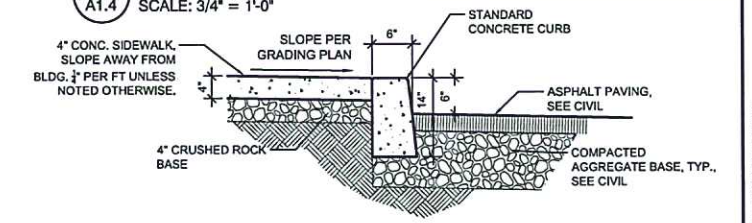
**5 PARKING STALL BUMPERS**  
A1.4 SCALE: 3/4" = 1'-0"



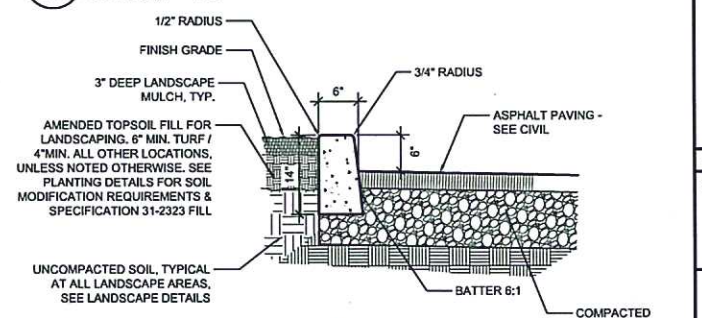
**4 PAVING AT PLANTER**  
A1.4 SCALE: 3/4" = 1'-0"



**3 TYPICAL SIDEWALK**  
A1.4 SCALE: 3/4" = 1'-0"



**2 STANDARD CURB W/ SIDEWALK**  
A1.4 SCALE: 3/4" = 1'-0"



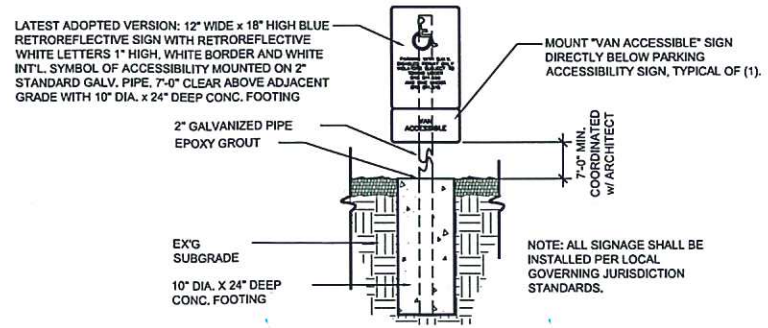
**1 STANDARD CONCRETE CURB**  
A1.4 SCALE: 3/4" = 1'-0"

**6 CONC. WALK AT LANDSCAPE**  
A1.4 SCALE: NTS

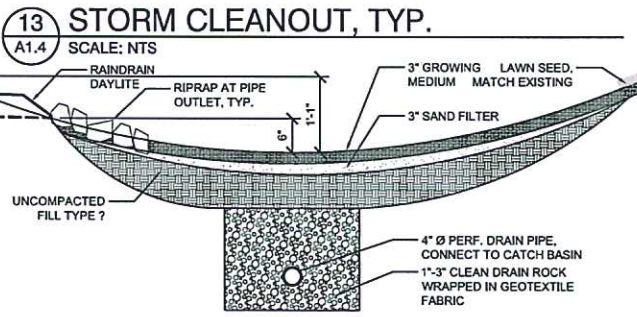
**7 TYP. SIDEWALK AT BUILDING**  
A1.4 SCALE: 3/4" = 1'-0"

**8 NORTH ADA RAMP**  
A1.4 SCALE: 3/4" = 1'-0"

**9 EXTRUDED CURB**  
A1.4 SCALE: NTS



**10 PARKING ACCESSIBILITY SIGN**  
A1.3 SCALE: NTS



**12 BIOSWALE, TYP.**  
A1.4 SCALE: NTS

**11 RIPRAP OUTFALL**  
A1.4 SCALE: NTS

**14 ADA PARKING AT CHURCH**  
A1.4 SCALE: NTS

**15 BIOSWALE CATCH BASIN**  
A1.4 SCALE: NTS

**16 SOUTH ADA RAMP AT CROSSING**  
A1.4 SCALE: NTS

**17 NOT USED**  
A1.4 SCALE: NTS

Revised 3/25/24

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PROJECT NO.: 23.75  
**HOLY TRINITY CATHOLIC CHURCH**  
335 OREGON AVE, SE  
BANDON, OREGON 97411

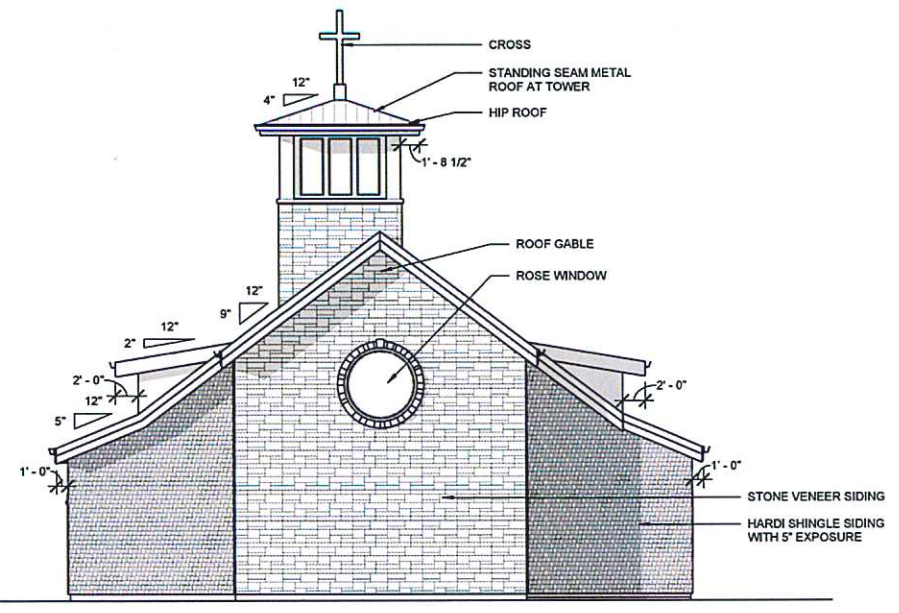
DESIGN DEVELOPMENT

REVISIONS:		
#	DATE	DESCRIPTION

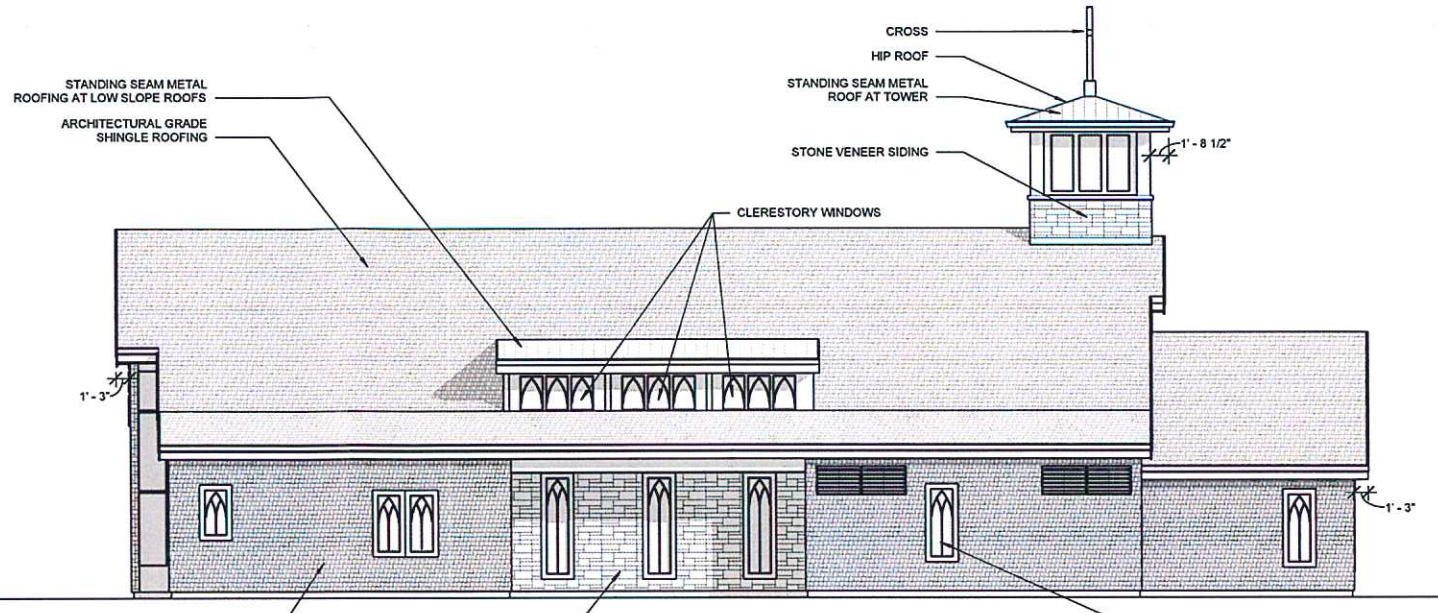
DATE: MARCH 2024

SHEET TITLE:  
**BUILDING ELEVATIONS**

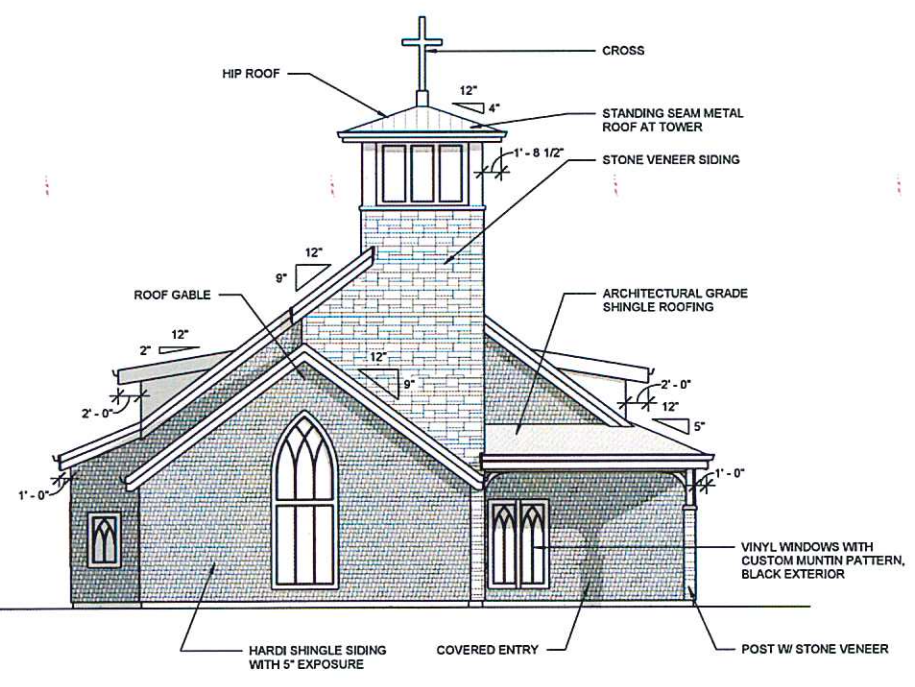
**SHEET 8**



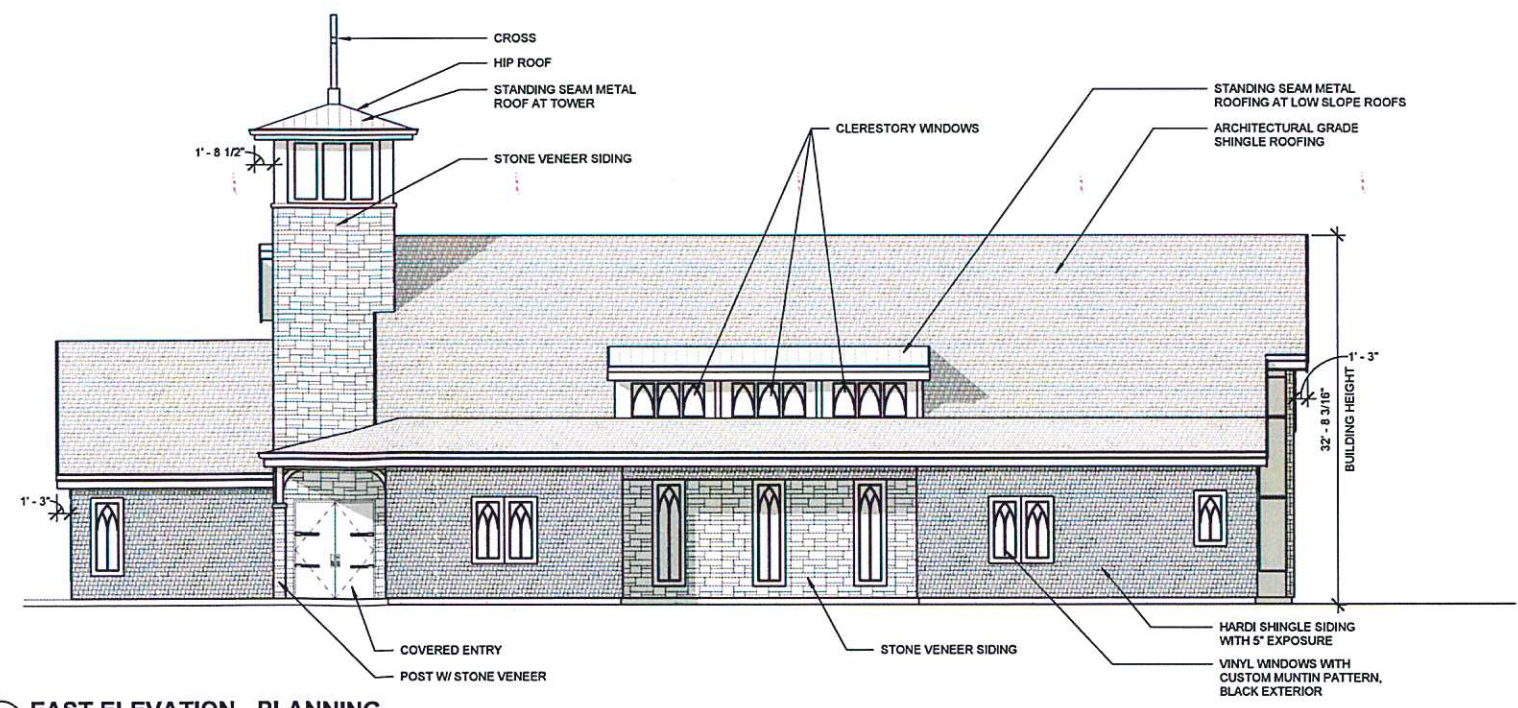
**2 NORTH ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"



**4 WEST ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"  
0' 4' 8' 16' 32'



**3 SOUTH ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"



**1 EAST ELEVATION - PLANNING**  
1/8" = 1'-0"  
11x17 SCALE: 1/16" = 1'-0"